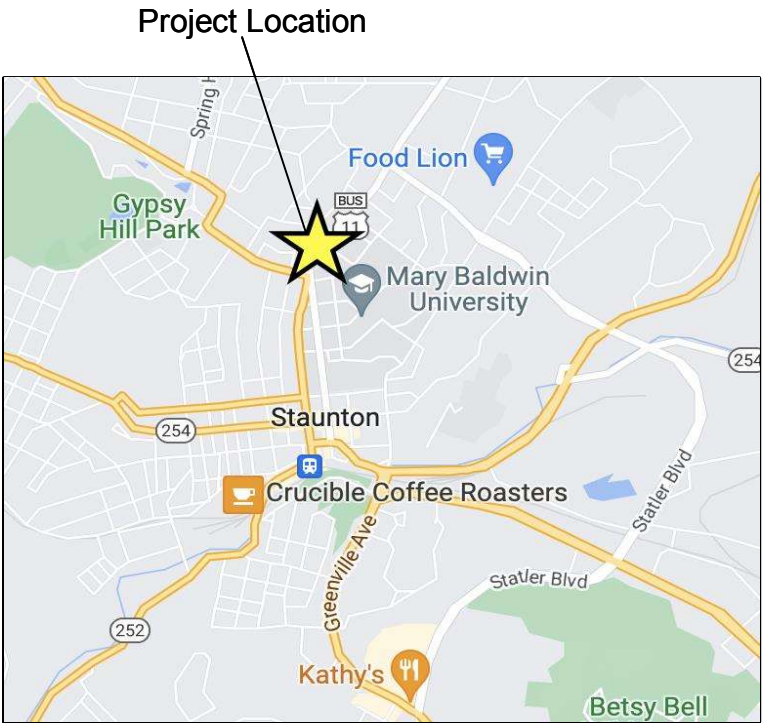




Public Library

2023 Roof Project



Index of Drawings

- A-1 COVER
- A-2 PROJECT OVERVIEW
- A-3 ROOF PLAN
- A-4 ROOF DETAILS
- A-5 SECUREMENT
- A-6 ADD ALTERNATE



APPLICABLE CODES

2018 VIRGINIA CONSTRUCTION CODE

2018 VIRGINIA EXISTING BUILDING CODE

WORK CLASSIFICATION:
ALTERATION, LEVEL 1 PER SECTION 602 OF THE VNBC



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**DIMENSIONS
TO BE VERIFIED**

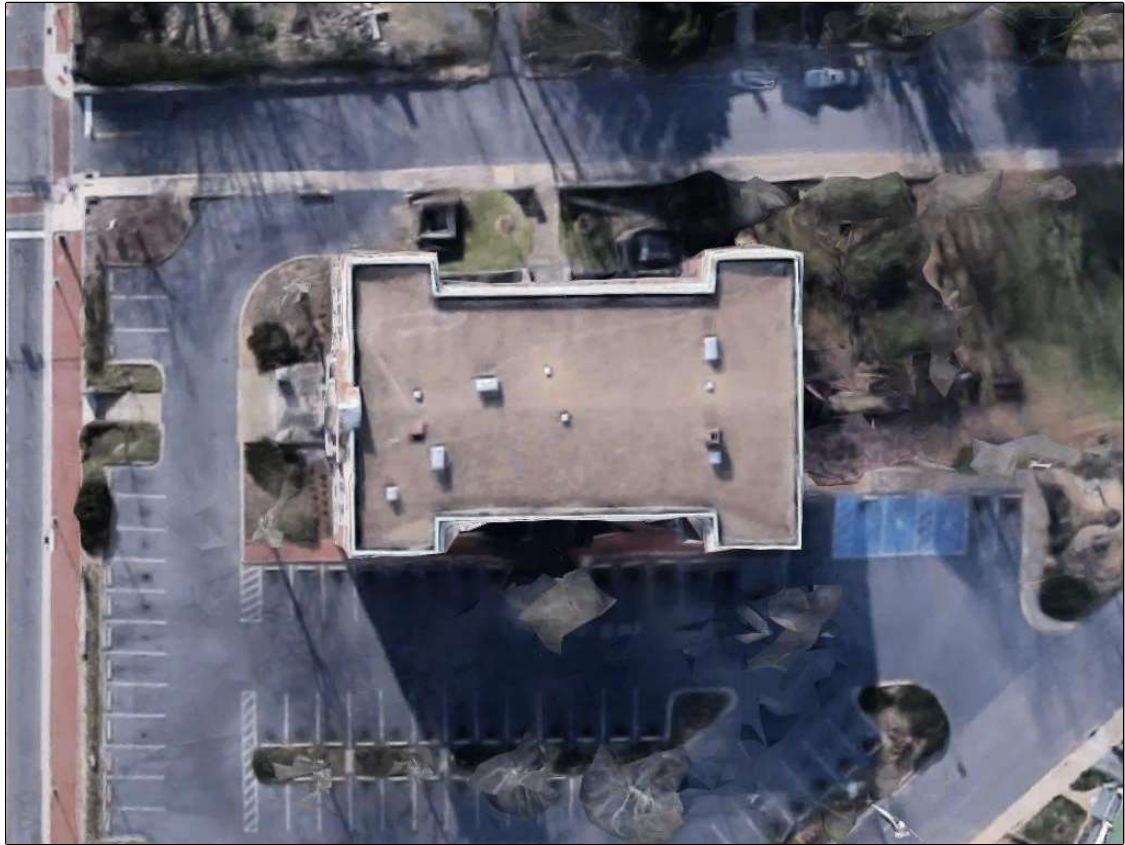
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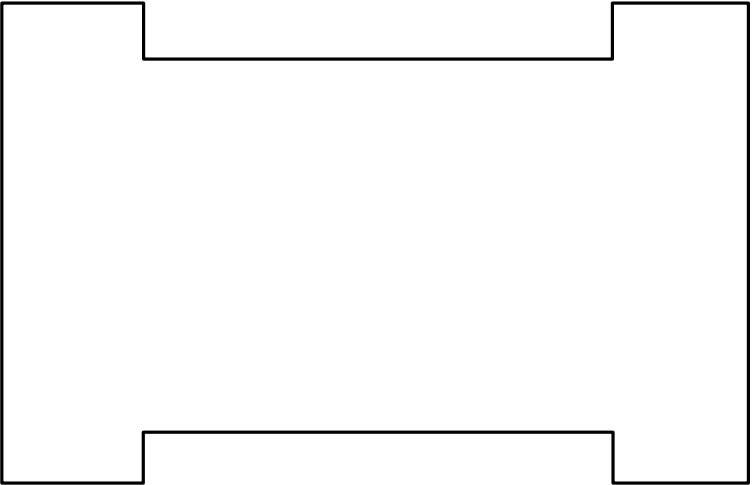
COVER

SHEET NO.

A-1



= ROOF AREA FOR REPLACEMENT = APPROX. 11,000 SQ FT



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PROJECT NOTES

- 1.) THE WORK SHALL BE COMPLETED AT THE SAME TIME AS THE EXISTING BUILDING IS TO BE IN USE. CONTRACTORS SHALL PROVIDE TEMPORARY BARRIERS AND CONTROLS IN THE PROXIMITY OF THEIR WORK ZONES THROUGHOUT THE WORK DAY. CONTRACTORS SHALL COORDINATE WITH THE OWNER EACH DAY TO LIMIT DISRUPTION OF SERVICE DURING THE COURSE OF THE WORK.
- 2.) BEFORE BEGINNING WORK AT THE SITE AND THROUGHOUT THE COURSE OF THE WORK, INSPECT AND VERIFY THE EXISTING CONDITIONS, MATERIALS, DIMENSIONS, LOCATIONS AND CONDITIONS OF EVERY ITEM AFFECTED BY THE WORK UNDER THIS CONTRACT AND REPORT DISCREPANCIES IMMEDIATELY TO THE OWNER AND ROOF MFR REP IN WRITING FOR RESOLUTION BEFORE BEGINNING THE WORK.
- 3.) BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING CONSTRUCTION, BUILDING SYSTEMS, FINISHES, SPECIALTIES, EQUIPMENT, FURNITURE AND OTHER ITEMS WHICH MUST BE REMOVED AND REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT.
- 4.) THE DRAWINGS SHOW PRINCIPLE AREAS WHERE WORK MUST BE ACCOMPLISHED UNDER THIS CONTRACT. INCIDENTAL WORK MAY ALSO BE NECESSARY IN AREAS NOT SHOWN ON THE CONTRACT DRAWINGS AS REQUIRED TO THE PRINCIPAL WORK DELINEATED WITHIN THIS SET. SUCH INCIDENTAL WORK SHALL BE DONE PER THE CONTRACT DOCUMENT REQUIREMENTS AND ALL APPLICABLE CODES. SUCH WORK SHALL BE CONSIDERED PART OF THIS CONTRACT AND THE CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING SUCH WORK IN THEIR BID.
5. CONTRACTORS SHALL PROVIDE NEW UNDAMAGED MATERIALS. ANY DAMAGED MATERIALS, FIXTURES AND/OR FINISHES RECEIVED ARE NOT TO BE INSTALLED AND RETURNED TO THE MANUFACTURER/DISTRIBUTOR. INSTALLATION OF DAMAGED MATERIALS WILL BE REJECTED.
- 6.) PROTECT ALL EXISTING CONSTRUCTION, INFRASTRUCTURE, EQUIPMENT AND FURNISHINGS TO REMAIN, OR NOTED TO BE REINSTALLED, FROM DAMAGE. VIDEOTAPE/ PHOTOGRAPH EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. CONTRACTORS WILL REPAIR/ REPLACE OR CORRECT ANY AND ALL EXISTING CONSTRUCTION TO REMAIN, OR NOTED TO BE REINSTALLED, TO MATCH THAT DAMAGED BY CONSTRUCTION AND/OR INSTALLATION PROCESS UNDER THIS CONTRACT AS NECESSARY AT NO ADDITIONAL EXPENSE TO OWNER.
- 7.) REPAIR, PATCH AND REFINISH, OR REPLACE, ANY EXISTING CONSTRUCTION AND INFRASTRUCTURE THAT IS DISTURBED OR DAMAGED DURING THE COURSE OF THE WORK. SUCH REPAIR OR REPLACEMENT WORK IS TO MATCH EXISTING CONSTRUCTION IN QUALITY AND FINISH. CONTRACTORS SHALL CONTACT OWNER AND ROOF MFR REP IF QUESTIONS ARISE REGARDING THE MATCHINGS OF EXISTING WORK.
- 8.) WHERE MATCH EXISTING IS INDICATED OR NEEDED, THE NEW CONSTRUCTION, INFRASTRUCTURE OR FINISHES REQUIRED TO COMPLETE THE WORK SHALL MATCH THE EXISTING IN SHAPE, CONFIGURATION, CHARACTERISTIC AND PROPERTY.
- 9.) CONTRACTORS SHALL USE EXISTING INFRASTRUCTURE TO COMPLETE BUILDING SYSTEMS INSTALLATION AS MUCH AS POSSIBLE.
- 10.) NOT USED.

PROJECT NOTES

- 11.) WHERE CONFLICT EXISTS BETWEEN, OR WITHIN, THE CONTRACT DOCUMENTS, BETWEEN THE CONTRACT DOCUMENTS AND APPLICABLE STANDARDS, CODES, ORDINANCES, OR MANUFACTURERS' RECOMMENDATIONS, AND CLARIFICATION HAS NOT BEEN REQUESTED FROM THE OWNER PRIOR TO THE CLOSE OF BIDDING, THE MORE STRINGENT OR HIGHER QUALITY STANDARD SHALL PREVAIL.
- 12.) THE CONTRACTORS SHALL PROVIDE ALL WORK AND MATERIALS WHICH ANY SECTION OR PART OF THE DRAWINGS, SPECIFICATIONS, OR CONDITIONS REQUIRE HIM TO PROVIDE FOR ALL SIMILAR WORK. THIS SHALL APPLY TO ALL SIMILAR WORK REGARDLESS OF WHETHER SUCH REQUIREMENT IS OR IS NOT FAITHFULLY REPEATED IN OTHER PARTS OF THE CONTRACT DOCUMENTS, THEREOF TO WHICH, THE PROVISIONS MIGHT BE APPROPRIATE.
- 13.) PERFORM WORK SO AS NOT TO ADVERSELY AFFECT THE PERFORMANCE OR OPERATION OF THE BUILDING OR CAUSE THE EXISTING STRUCTURE TO BECOME UNSAFE OR CAUSE AN INCREASE IN REQUIRED OWNER MAINTENANCE TO EXISTING BUILDING SYSTEMS.
- 14.) PROJECT SHALL REMAIN IN COMPLIANCE WITH ALL ASPECTS OF ALL GOVERNING CODES AND ORDINANCES DURING THE COURSE OF CONSTRUCTION. CONTRACTORS SHALL PERFORM ALL WORK SO AS NOT TO LIMIT OR DISABLE THE EXISTING LIFE SAFETY SYSTEMS UNLESS PRIOR WRITTEN NOTICE IS GIVEN AND WRITTEN APPROVAL IS OBTAINED FROM THE OWNER.
- 15.) CONFINE OPERATIONS TO AREAS WITHIN CONTRACT LIMITS INDICATED AND AS SPECIFICALLY ALLOWED BY THE OWNER PER WRITTEN APPROVAL. AREAS OF THE BUILDING AND SITE BEYOND THE LIMITS OF THE CONTRACT OPERATIONS ARE NOT TO BE DISTURBED. CONTRACTORS SHALL BE RESPONSIBLE FOR REPAIR AND REPLACEMENT OF ANY EXISTING CONSTRUCTION, MATERIAL, FURNISHINGS, LANDSCAPING DAMAGED OUTSIDE OF THE CONTRACT LIMITS.
- 16.) KEEP DRIVEWAYS AND ENTRANCES SERVING THE BUILDING CLEAR AT ALL TIMES UNLESS NOTED OTHERWISE. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIRED FOR STORAGE OF MATERIALS ON SITE.
- 17.) CONTRACTOR IS RESPONSIBLE FOR CLEANUP AT THE END OF EACH WORK DAY THROUGHOUT THE COURSE OF THE PROJECT. IN THE EVENT THAT THE CONTRACTOR FAILS TO CLEAN UP, THE OWNER CAN PERFORM THE CLEANUP AND THE CONTRACTOR SHALL COMPENSATE THE OWNER FOR THE ASSOCIATED COSTS.
- 18.) CONTRACTORS SHALL PROVIDE A FINAL CLEANUP AT THE END OF THE PROJECT PRIOR TO FINAL COMPLETION. ALL SURFACES, FIXTURES AND FURNITURE ARE TO BE CLEANED THOROUGHLY SO NO MARKS, RESIDUE, STICKERS, OR RUBBISH REMAINS. ANY ITEM THAT CAN NOT BE EFFECTIVELY CLEANED SHALL BE REPLACED

PROJECT NOTES

- 19.) NOT USED
- 20.) WORK SHOWN IS NEW UNLESS SPECIFICALLY NOTED OR OTHERWISE INDICATED.
- 21.) WHERE CUTTING OF EXISTING SURFACES OR REMOVAL OF EXISTING SURFACES IS REQUIRED TO PERFORM THE WORK UNDER THIS CONTRACT, AND NEW FINISH IS NOT INDICATED, FILL RESULTING OPENINGS AND PATCH THE SURFACE AFTER DOING THE WORK, AND FINISH TO MATCH ADJACENT EXISTING SURFACES.
- 22.) WHERE EXISTING ITEMS ARE BEING REMOVED THAT PENETRATE WALLS, ROOFS OR FLOORS, THE EXISTING PENETRATIONS ARE TO BE INFILLED/ PATCHED TO MATCH THE EXISTING WALL, ROOF OR FLOOR IN EVERY PARTICULAR.
- 23.) REFER TO NEW WORK PLANS TO COORDINATE EXTENT OF DEMOLITION REQUIRED.
- 24.) ALL EXISTING SURFACES, INVOLVED IN NEW WORK ARE TO BE CLEANED AND ADEQUATELY PREPARED TO RECEIVE NEW WORK.
- 25.) CONTRACTOR SHALL LIMIT OPERATIONS OF THE REMOVAL OF THE EXISTING ROOF TO THAT AREA THAT CAN BE REPLACED AND MADE WATERTIGHT PRIOR TO LEAVING THE SITE AT THE END OF EACH DAY. CONTRACTOR SHALL NEVER LEAVE THE SITE UNTIL THE AFFECTED ROOF AREA IS WATERTIGHT.
- 26.) CONTRACTOR SHALL PERFORM OPERATIONS THAT CAUSE EXCESSIVE DUST, NOISE, OR ARE DANGEROUS TO THE PUBLIC WHEN THE SCHOOL IS NOT OCCUPIED.
- 27.) CONTRACTORS SHALL BE RESPONSIBLE FOR TEMPORARY FACILITIES AND CONTROLS TO WARN AND PROTECT THE PUBLIC FROM THE CONTRACTOR'S WORK.
- 28.) DO NOT SCALE DRAWINGS. IF A REQUIRED DIMENSION IS NOT INDICATED OR ANY DIMENSIONING DISCREPANCIES EXIST ON THE DRAWINGS THE CONTRACTORS SHALL PROMPTLY WRITE TO THE OWNER FOR RESOLUTION.
- 29.) VERIFY ALL DIMENSIONS IN FIELD PRIOR TO SHOP FABRICATION OF ITEMS.
- 30.) ALL HOLD DIMENSIONS ARE REQUIRED TO BE EXACT WITH 1/8" TOLERANCE ALONG FULL HEIGHT AND FULL WIDTH OF WALL, PARTITION OR BUILDING COMPONENT.
- 31.) VERIFY W/ OWNER ITEMS TO BE SALVAGED AND RETURNED TO OWNER. ALL ITEMS TO BE SALVAGED SHALL BE CAREFULLY REMOVED SO AS TO ALLOW FOR REUSE.
- 32.) CONTRACTOR SHALL COORDINATE THE WORK WITH OWNER'S OTHER FORCES TO AVOID DELAYS IN THE WORK AND PROVIDE A COMPLETE INSTALLATION.
- 33.) NOT USED.

PROJECT NOTES

- 34.) ALL WOOD NAILERS TO MATCH EXISTING HEIGHT OR COVER HEIGHT OF NEW INSULATION, WHICHEVER IS GREATER.
- 35.) VERIFY LOCATIONS OF EXISTING SADDLES AND REPLACE W/ NEW SADDLES. PROVIDE SADDLES AT HIGH SIDE OF ALL EQUIPMENT CURBS AND AT ROOF HATCHES FOR POSITIVE DRAINAGE TO ROOF DRAINS. COORDINATE W/ ROOFING REPRESENTATIVE/ ALL SADDLES SHALL BE 1/2" PER FOOT SLOPE OF TAPERED INSULATION.
- 36.) PROVIDE CRICKETS TO FACILITATE FLOW OF DRAINAGE @ ALL PENETRATIONS AND OBSTRUCTIONS. CRICKETS SHALL HAVE A MINIMUM OF 1/8" PER FOOT SLOPE.
- 37.) ALL NEW MTL. FLASHING SHALL MATCH EXISTING IN TYPE AND COLOR.
- 38.) CONTRACTOR SHALL PROVIDE TEMPORARY PROTECTION, SUCH AS PLYWOOD, OF NEWLY ROOFED AREAS USED AS WORK ACCESS OR STAGING AREAS.
- 39.) ALL FLAT DECK ROOF AREAS TO HAVE 1/4" PER FOOT TAPERED INSULATION OVER ENTIRE DECK. CONTRACTOR TO SUBMIT TAPERED LAYOUT FOR ROOF MFR. REP. APPROVAL.
- 40.) CONTRACTOR SHALL NOTE THAT ROOFING AREAS SHOWN ON DRAWINGS ARE APPROXIMATIONS. CONTRACTOR SHALL FIELD VERIFY ALL QUANTITIES / DIMENSIONS PRIOR TO BIDDING AND USE HIS QUANTITIES IN THE BID. NO EXTRA WILL BE ENTERTAINED BY THE OWNER FOR QUANTITIES WHICH DIFFER FROM THOSE LISTED ON THE CONTRACT DOCUMENT. CONTRACTOR SHALL ALSO NOTIFY THE OWNER OF ANY DISCREPANCIES PRIOR TO THE END OF THE BIDDING PROCESS.
- 41.) BEFORE BEGINNING WORK AT THE SITE, INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING EQUIPMENT ON ROOF WHICH MUST BE REMOVED AND REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT. INCLUDE THOSE COSTS IN BASE BID.
- 42.) ALL CURBS AND ALL THROUGH-WALL FLASHING TO BE A MINIMUM OF 8" ABOVE TOP OF NEW ROOF MEMBRANE.
- 43.) CONTRACTOR TO PAINT ALL ROOFING PENETRATIONS TO MATCH EXISTING COLOR (AS SELECTED BY OWNER).
- 44.) ALL SHEET METAL FLASHING AND TRIM TO BE FREE FROM OIL CANNING, DIMPLING AND ALL OTHER SURFACE IMPERFECTIONS
- 45.) CONTRACTOR TO VERIFY PIPE ROUTING AND ELEVATIONS IN FIELD.
- 46.) EXISTING DOWNSPOUTS AND SPLASH BLOCKS TO REMAIN, PROTECT FROM DAMAGE. REMOVE, CUT DOWN AND REINSTALL AS REQUIRED TO COORDINATE WITH WORK.
- 47.) ELECTRICAL CONDUIT AND GAS PIPING SHALL NOT LAY ON FIELD OF NEW ROOF ASSEMBLIES. REMOVE EXISTING WOOD BLOCKING AND INSTALL MILD PADTS WITH STRAPS SPACED 8'-0" (MAX). MODIFY WIRING, JUNCTION BOXES, AND CONDUIT AS REQUIRED TO COMPLETE WORK.
- 48.) EXISTING ROOF DRAINS TO BE REPLACED UNLESS NOTED OTHERWISE.
- 49.) ALL EXISTING EXTERIOR GAS PIPE WORK ON ROOFS TO BE PAINTED SAFETY YELLOW.

SHEET TITLE:

PROJECT
OVERVIEW

SHEET NO.

A-2

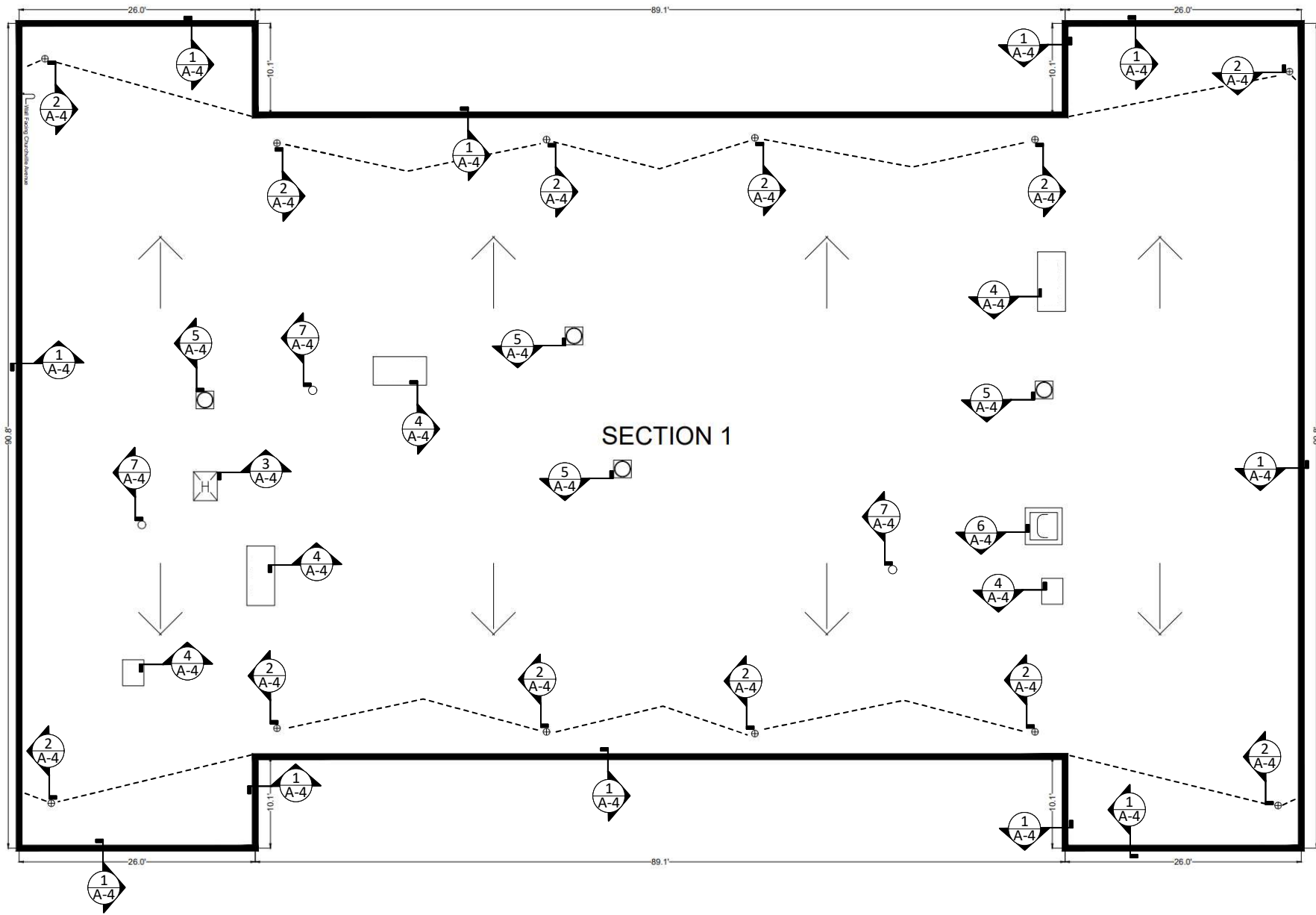
DEMO NOTES

1. REMOVE AND DISPOSE OF EXISTING ROCK BALLAST, EPDM MEMBRANE, UNDERLYING INSULATION, AND ASSOCIATED FLASHINGS, TERMINATIONS, AND COUNTERFLASHINGS.
2. REMOVE ALL LOOSE GRAVEL FROM THE UNDERLYING BUILT UP ROOF.
3. EXISTING BUILT UP MEMBRANE / FELTS MAY REMAIN IN PLACE. REMOVE ANY AREAS THAT BECOME LOOSE OR DAMAGED DURING REMOVAL OF THE GRAVEL.
4. ALL ASBESTOS CONTAINING WALL FLASHINGS MUST BE REMOVED AND DISPOSED OF BY A LICENSED REMEDIATION SPECIALIST. SEE ATTACHED ASBESTOS REPORT.

SUMMARY OF WORK

1. REPLACE ANY AREAS OF ROTTED WOOD DECKING.
2. MECHANICALLY ATTACH TWO LAYERS OF 2.6" POLYISOCYANURATE INSULATION. STAGGER ALL JOINTS.
3. INSTALL 1/2" TAPERED CRICKETS BETWEEN ALL DRAINS AND IN ALL ROOF CORNERS ADJACENT THE CORNER DRAINS.
4. INSTALL ONE LAYER OF 1/2" GYPSUM FIBER COVER BOARD IN THE SPECIFIED INSULATION ADHESIVE.
5. INSTALL THE SPECIFIED SBS MODIFIED BASE SHEET IN THE SPECIFIED COLD PROCESS ADHESIVE.
6. INSTALL THE SPECIFIED SBS MODIFIED MINERAL SURFACE CAP SHEET IN THE SPECIFIED COLD PROCESS ADHESIVE.
7. HEAT WELD ALL SEAMS OF THE CAP SHEET BY HOT AIR GUN / LEISTER.
8. INSTALL THE SPECIFIED 2 PLY FLASHINGS IN COLD PROCESS ADHESIVE.
9. HEAT WELD ALL FLASHING CAP SEAMS BY HOT AIR GUN / LEISTER.
10. INSTALL NEW METAL COPING CAPS ON THE ENTIRE PERIMETER PARAPET WALL.
11. INSTALL NEW RETROFIT DRAINS AT ALL EXISTING DRAIN LOCATIONS.
12. CREATE 4"x4" TAPERED SUMPS AT ALL DRAIN LOCATIONS.
13. ALL ROOFTOP AIR INTAKES, FANS, AND ROOF HATCH TO BE RAISED WITH NOW SOLID WOOD BLOKING TO ACHIEVE A MINIMUM 8" FLASHING HEIGHT.
14. ALL PIPE PENETRATIONS TO RECEIVE 2 PART LIQUID FLASHING AND POLYESTER FABRIC.

NOT TO SCALE

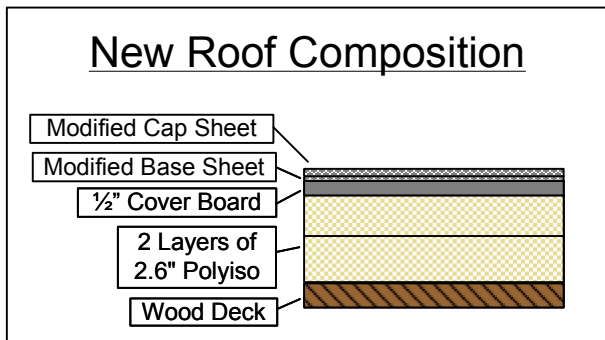
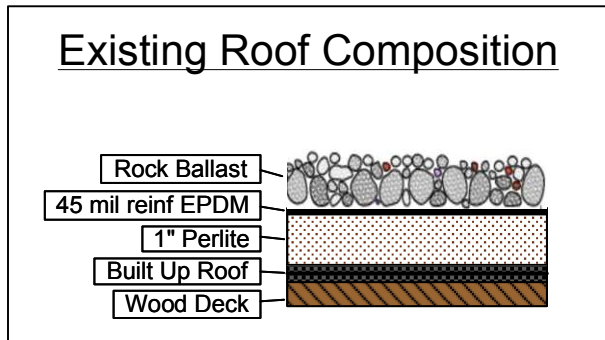
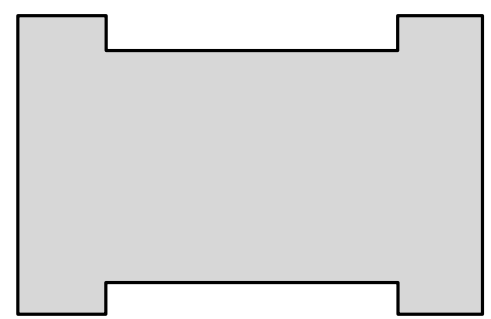


LEGEND	
	AREAS WITH STEEL CATWALK
	AREAS WITH BARE AND/OR BLOWN FELTS
	AREAS WITH VEGETATION GROWTH
	AREAS WITH DEBRIS
ROOF PROJECTIONS	
	ANTENNA
	BREATHER
	CAPPED STACK
	CHANGE IN ELEV.
	CHIMNEY
	CONDUIT LINE
	CONTROL JOINT
	DRAIN
	EXHAUST FAN ON CURB
	EXPANSION JOINT
	EXPLOSION HATCH
	FLAGPOLE
	GAS PIPELINE
	GOOSENECK VENT
	GOOSENECK VENT ON OVERSIZED CURB
	HATCH
	HVAC UNIT
	HVAC UNIT ON CURB
	HVAC UNIT ON SLEEPERS
	LADDER
	LIGHT POST
	PIPE SUPPORT
	PITCH POCKET
	PLUMBING OR SOIL STACK
	RA
	ROOF ANCHOR
	SATELLITE DISH
	SCUPPER
	SECURITY CAMERA
	SKYLIGHT
	SLOPE
	SQUARE VENT
	SQUARE VENT ON OVERSIZED CURB
	TALL CONE OR "8" VENT
	TALL CONE OR "8" VENT ON CURB
	UNUSED OPENING
	WALKWAY PADS

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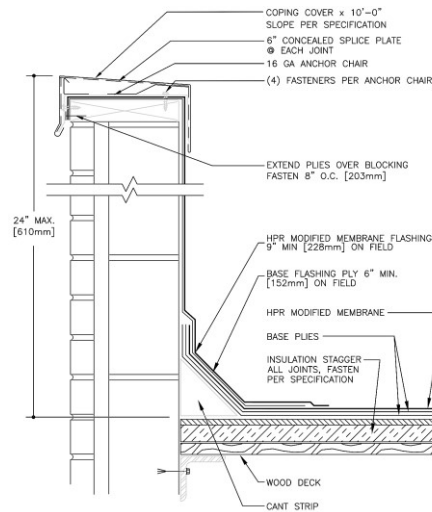
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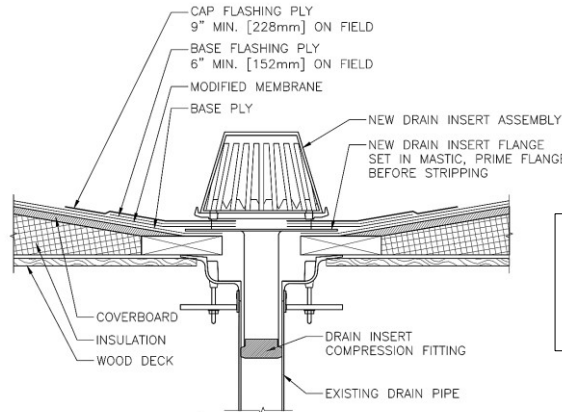
ROOF AREA (SQ. FT.)
Section 1 = 11012.2 sq.ft.

SHEET TITLE:
ROOF PLAN

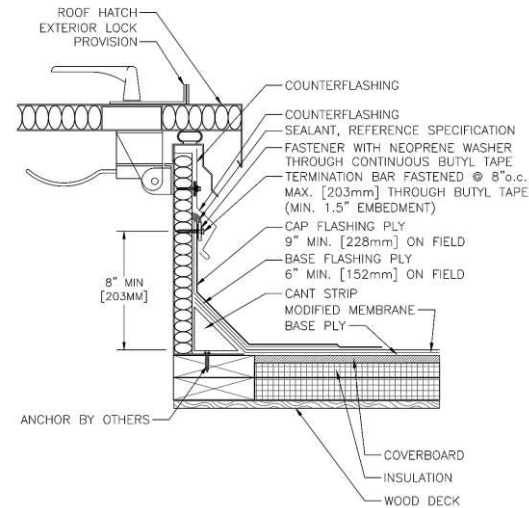
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A-3



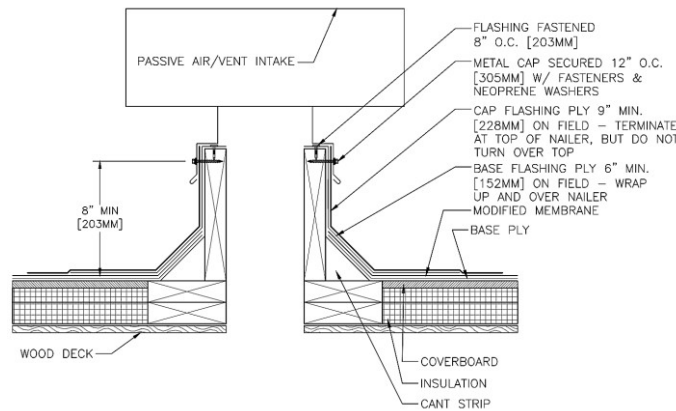
1 WALL W/ COPING CAP DETAIL
A-4



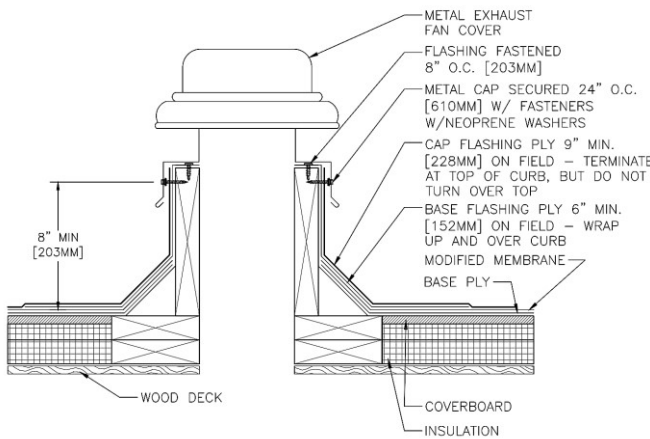
2 RETROFIT DRAIN DETAIL
A-4



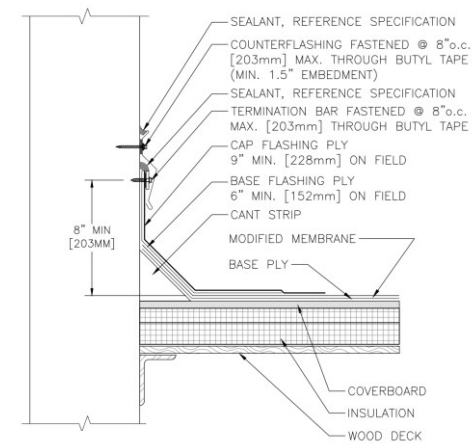
3 ROOF HATCH DETAIL
A-4



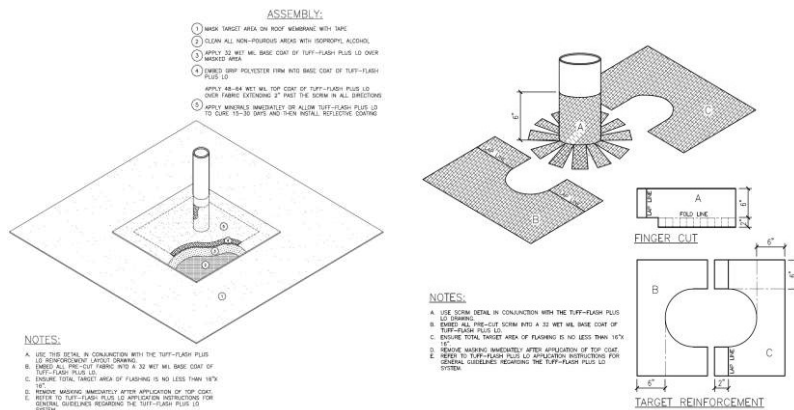
4 PASSIVE VENT DETAIL
A-4



5 ACTIVE FAN DETAIL
A-4



6 SURFACED MOUNTED COUNTER FLASHING AT CHIMNEY DETAIL
A-4



7 LIQUID FLASHING DETAIL
A-4

NOT TO SCALE

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SHEET TITLE:

ROOF
DETAILS

SHEET NO.

A-4

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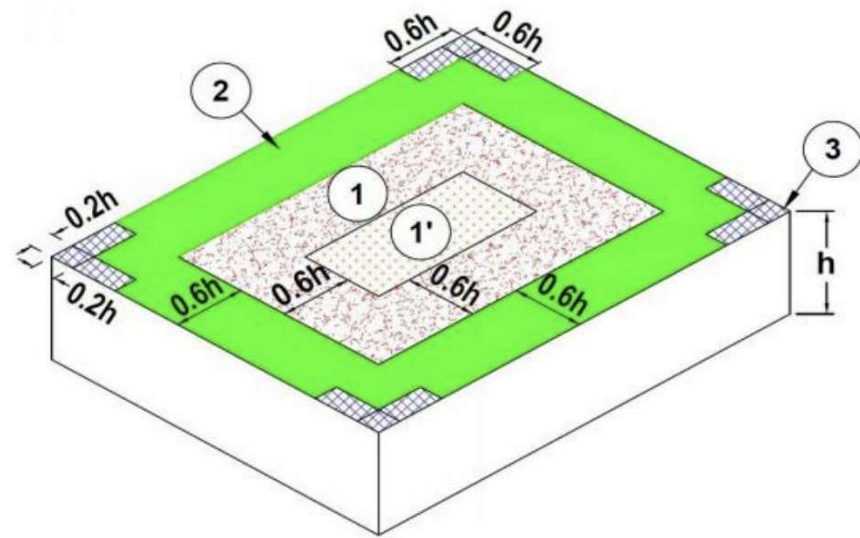
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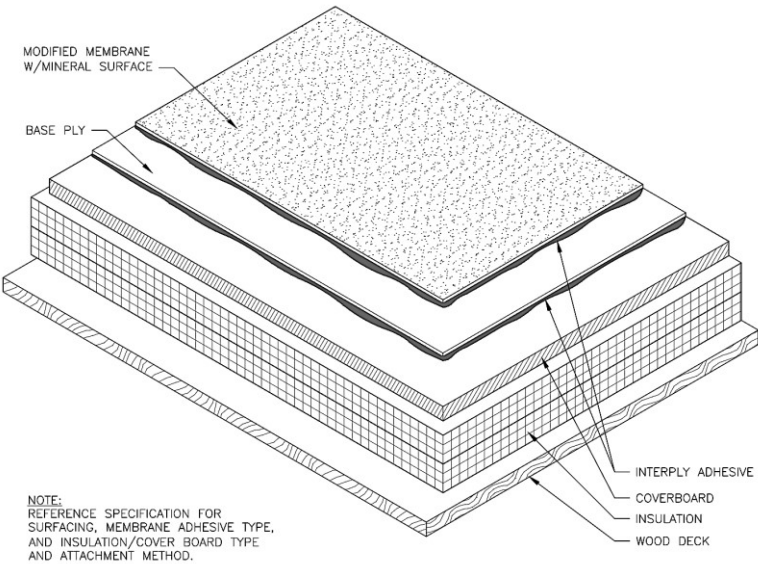
SECUREMENT

SHEET NO.

A-5



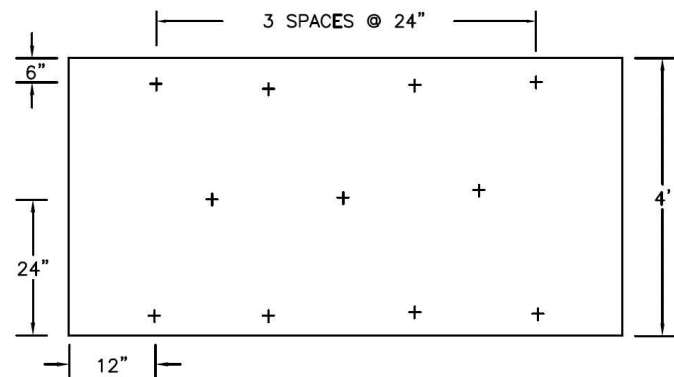
ZONE 2 WIDTH: 24'-0"
ZONE 3 WIDTH: 8'-0"
ZONE 3 LENGTH: 24'-0"



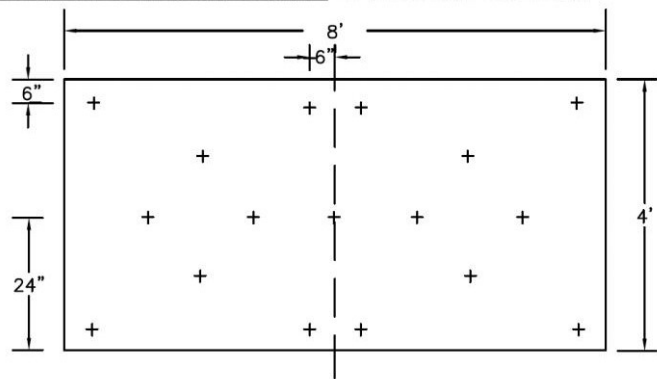
NOTE:
REFERENCE SPECIFICATION FOR
SURFACING, MEMBRANE ADHESIVE TYPE,
AND INSULATION/COVER BOARD TYPE
AND ATTACHMENT METHOD.

TYPICAL ROOF FINISH

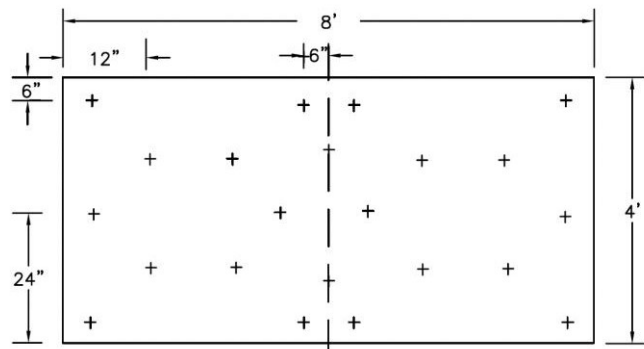
ZONE 1 INSULATION BOARD FASTENER PATTERN: 11 FASTENERS PER BOARD



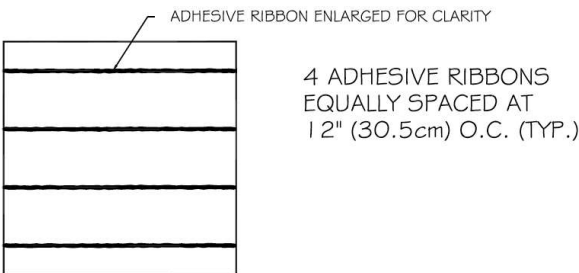
ZONE 2 INSULATION BOARD FASTENER PATTERN: 17 FASTENERS PER BOARD



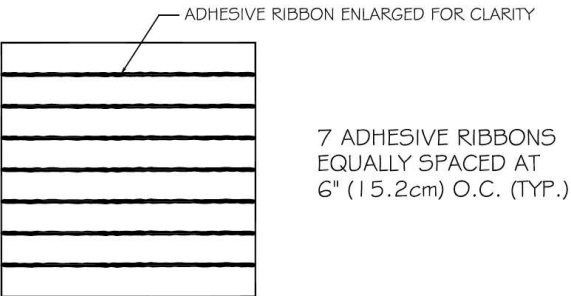
ZONE 3 INSULATION BOARD FASTENER PATTERN: 22 FASTENERS PER BOARD



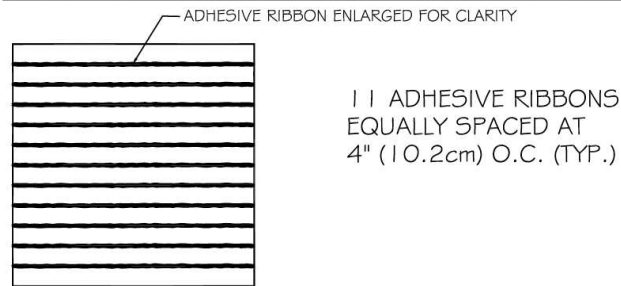
TYPICAL ZONE 1 INSULATION BOARD ADHESIVE PATTERN: 12" OC BEADS PER BOARD



TYPICAL ZONE 2 INSULATION BOARD ADHESIVE PATTERN: 6" OC BEADS PER BOARD



TYPICAL ZONE 3 INSULATION BOARD ADHESIVE PATTERN: 4" OC BEADS PER BOARD

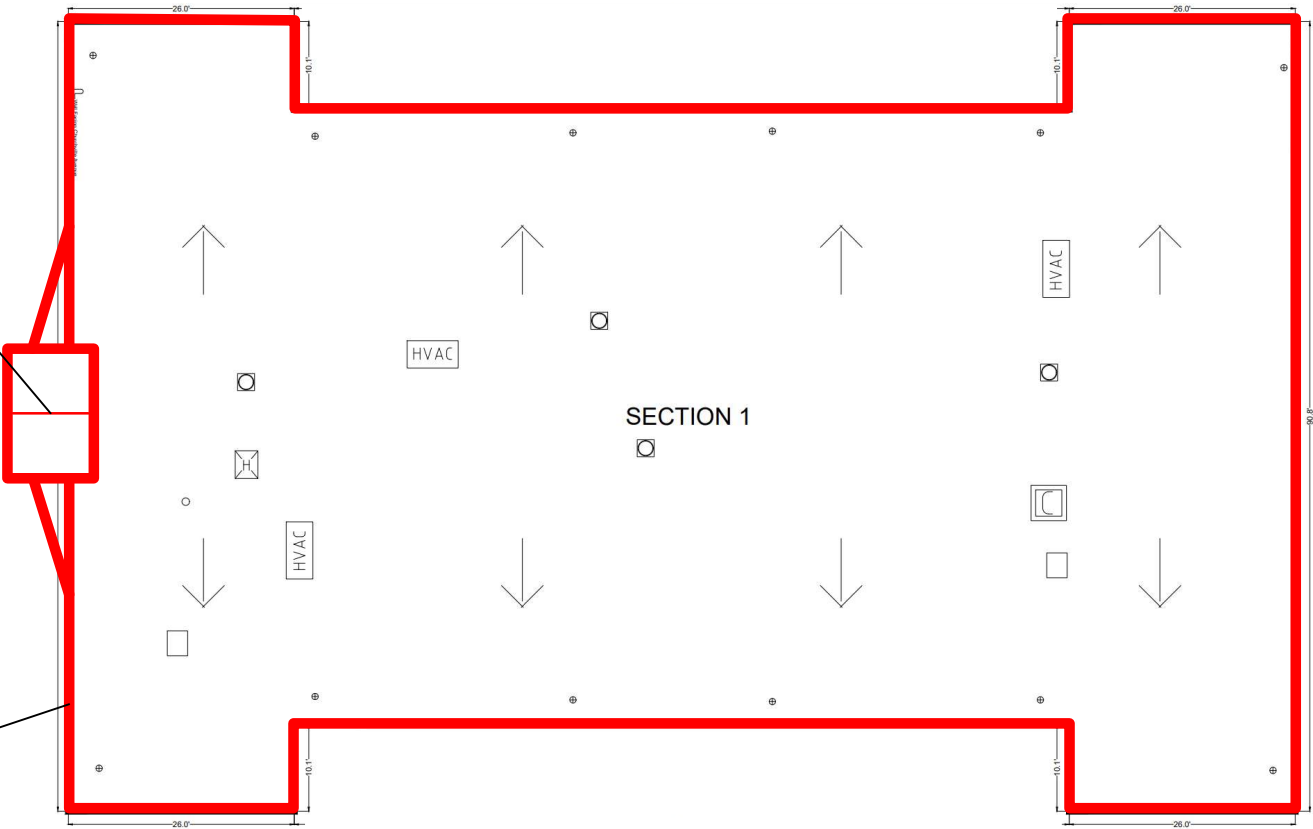


ADD ALTERNATE

-Clean, Prime, and Repaint Perimeter Metal Cornice and Metal Canopy Roof

SUMMARY OF WORK

- 1. TO BE PERFORMED AT ALL LOCATIONS OTULINED IN RED ON THE ADJACENT DRAWING.
- 2. USE WIRE BRUSH TO REMOVE ANY LOOSE OR FLAKING SURFACE RUST.
- 3. THOROUGHLY CLEAN METAL SURFACE BY PRESSURE WASHER AND SOLVENT BASED WIPES AS NECESSARY.
- 4. REPORT ANY AREAS OF FULL THICKNESS RUST AND DETERIORATION TO THE OWNER.
- 5. INSTALL RUST INHIBITIVE PRIMER ACROSS THE METAL SURFACE.
- 6. INSTALL 2 COATS OF ACRYLIC TOP COAT ACROSS THE METAL SURFACE. COLOR TBD BY OWNER.



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SHEET TITLE:

ADD ALTERNATE

SHEET NO.

A-6